

THE WOODS OF PINNACLE
PLANNED UNIT DEVELOPMENT-RESIDENTIAL (PUD-R)
ZONING TEXT

- I. INTRODUCTION. This Zoning Text (the "Text") establishes the permitted land uses, residential densities, minimum lot sizes, and other development standards for the development comprising the 32+ acres of land generally located south of Pinnacle Club Drive, north of Holton Road and east of McNulty Street, as more accurately depicted on the Preliminary Development Plan dated April 28, 2014 and described in the legal description submitted with the zoning application (the "Property"). The Property or, as sometimes referred to herein, the "Woods", is a planned community development designed around the natural stream corridor and contours of the land. The general design of the Property is to reflect and continue the characteristics and continuity of the adjacent master planned golf course community (Pinnacle Club). The Woods will be integrated into the Pinnacle Club, and the intent of this Text is to create a development that adds to and integrates the Woods into the existing fabric of the surrounding community.
- II. COMPATIBILITY. The Property is to be segmented into two subareas in order to acknowledge differences and maximize the compatibility among adjacent land uses. Each subarea shall have its own set of use and development standards to reflect qualities and characteristics of the adjacent areas (of the Pinnacle Club). Roadways and connections are to be configured in a manner to allow for safe and efficient connectivity to the existing road network. Roads shall be designed and sized to promote safe travel routes and conditions for pedestrians, bicycles as well as automobiles. Two new intersections/connections are to be made to Pinnacle Club Drive to provide multiple routes of travel and to diffuse traffic. Construction of these new connections are, like any public street, subject to the review, approval and participation from and by the City of Grove City.
- III. SEVERABILITY. All provisions of this Text are severable. If a court of competent jurisdiction determines that a word, phrase, clause, sentence, paragraph, subsection, section or other provision is invalid or that the application of any part of the provision to any person or circumstances is invalid, the remaining provisions and the application of those provisions to other persons or circumstances are not affected by that decision.
- IV. APPLICABILITY. The standards and provisions outlined within the Text shall apply to the 32+ acres of land as described above unless otherwise approved by Grove City Council. Other provisions of the Grove City Code, including the Standard Drawings and other policies shall only apply to the extent that this Text does not address such matters.
- V. CONFLICT. When there appears to be, or there is in fact, a conflict between the Text and Development Plan, the more restrictive requirement/standard shall apply.
- VI. DEVIATION. The standards, requirements and uses may be deviated from upon the request of City or Developer during the development plan review process as long as such requests are consistent and harmonious with the overall intent and character of the development and do not diminish, detract or weaken the overall compatibility between uses in proximity of the Property. Deviations

shall not be granted to individual homeowners, such individuals seeking relieve from the Text or Zoning Code shall do so through the appeals process as set forth in Grove City Code.

VII. Plan Districts. In accordance with agreements previously entered into by Grove City, the property will be added to the tax increment financing district established with respect to the Pinnacle community and to the Pinnacle Community Infrastructure Financing District. The documents accomplishing the joinder to the Pinnacle Community Infrastructure Financing District shall provide that the amount of the charge payable by the owner of each lot developed in Subarea 1 shall be the same as the charge payable to the by the owner of each lot developed in the portion of Pinnacle Club commonly known as the Estates (Subarea A1 of the Pinnacle Club PUD) and that the amount of the charge payable by the owner of each lot developed in Subarea 2 shall be the same as the charge payable to the by the owner of each lot developed in the portion of Pinnacle Club commonly known as the Links (Subarea C of the Pinnacle Club PUD

VIII. Homeowner's Association. The entire 32 acre site will be annexed to the Pinnacle Club Homeowner's Association which shall maintain the common areas and reserves including but not limited to entrance features and landscaping as set forth on the approved Development Plan. Pinnacle Land Holdings LLC shall have architectural approval authority for homes built in Subarea 1 and Schottenstein Homes shall have architectural approval authority for homes built in Subarea 2 until such time as such authority is assigned to the Pinnacle Club Homeowner's Association by them, respectively.

IX. GENERAL REQUIREMENTS.

A. Streets / Sidewalks

1. Pavement Width. Streets shall have a minimum right-of-way width of 50 feet and a minimum pavement width of 28 feet measured from face-of-curb to face-of-curb.
2. Front Walks. Four foot wide concrete sidewalks shall be installed in frontages of all homes. Sidewalks do not have to be installed along open space areas except as shown on the development plan.
3. Service Walks. All homes shall have brick paver walks from the driveway to the front door of the house.

B. Landscaping.

1. Entrance Features. The general massing and location of plants and hardscape proposed as part of the entry features and the species of plants shall be approved with the final development plan. Sod shall be used at the entrance features and the area to be sodded shall be approved by the Service Director or his designee.
2. Street Trees. Street trees shall be 2.5 caliper at planting and planted 35' on center. The care, replacement and maintenance of the street trees shall be handled by the lot owner. This street tree obligation shall be in lieu of the owner and/or builder's obligation to pay the per lot Urban Forestry fee set forth in Section 1136.09(B) of the zoning code.
3. Existing trees. No trees within areas designated as reserves shall be removed except for dead and dying trees and those that must be removed for the construction of underground utilities. With the exception of the construction of such underground

utilities, heavy construction equipment must be kept away from the trees and these areas will be protected with snow fence during construction.

4. Landscape Buffers. Reserve B is currently wooded. If necessary, additional evergreen and deciduous trees will be planted in reserve B where existing trees are sparse in order to achieve 75% opacity within 3 years.
 5. Tree Preservation Area. In addition, many portions of the perimeter of the property are wooded. As shown on the development plan a 30 foot tree preservation area shall be established along a portion of the current northern boundary of the Property. A 20 foot tree preservation area shall be established on the rear of all lots and reserves that the rear boundary of which is the current eastern, western and southern boundary of the property. No trees shall be removed from the aforesaid tree preservation areas except for removal of dead trees (as confirmed by the City's Urban Forester) and/or construction of underground utilities. Heavy construction equipment must be kept away from the tree preservation areas with exception for the construction underground utilities. Boundaries for heavy construction equipment shall be determined by the City's Urban Forester and shall be protected with snow fence during construction.
 6. Grass. All residential lots shall be sodded and seeded in compliance with Section 1136.11 of the City Code.
 7. Service Structures. Service structures shall be screened in compliance with Section 1136.08 of the City Code.
- C. Lighting. Decorative street lighting will be installed on alternating sides of the street. Designs will be submitted and approved as part of the development plan approval.
- D. Pools. No above ground swimming pools shall be erected or permitted.
- E. Mailboxes. Each home will have the same style pole mounted mailbox. Design will be submitted and approved as part of the development plan approval.
- F. Fences. Decorative wrought iron (or aluminum with the appearance of wrought iron) fencing will be permitted around in-ground pools. Decorative screening for the purpose of providing privacy, not exceeding 5' in height, shall be permitted to be installed around patios located immediately adjacent to dwellings. Fences not exceeding 4' in height are permitted along rear yard lines and side yard lines behind the rear elevation of the home.

X. SUBAREA REQUIREMENTS

A. Subarea 1.

1. Intent. The intent of this subarea is to provide housing choices that are similar in design, character and size as those found along Pinnacle Club Drive (in The Estate section of Pinnacle Club). As such all homes are to incorporate the same quality of design, detail and level of exterior finishes.

2. Permitted Uses. Single family residential use shall be permitted within this subarea. Subarea 1 consists of 7.93 acres containing no more than 14 single-family lots and homes are to be built by custom builders or by Schottenstein Homes (SH).
3. Lot Size. 12 Lots shall be a minimum of 100' wide at the building line and 2 lots shall be a minimum 95' at the building line. All lots shall be a minimum 130' deep. No lot in Subarea 1 may be split and combined with a contiguous platted lot if said split results in a lot containing less than -- ____ of frontage at the building line.
4. House Sizes: The minimum house size in Subarea 1 shall be 3,000 square feet, excluding garage and basement areas.
5. Yard Dimensions.
 - a. Front Yard. The front yard building setback shall be a minimum of 25 feet.
 - b. Rear Yard. The minimum required rear yard shall be 35 feet.
 - c. Side Yard. The side yard setback shall be a minimum of 5 feet. The minimum distance between adjacent structures shall be 16 feet.
6. Site and Building Design.
 - a. Materials. All homes will be traditional in architecture, i.e. Colonial, Georgian, County French and Country English. Four-sided architecture with brick or stone foundations on all sides and common window fenestration will be encouraged to reflect a continuity of materials and architectural design for all elevations. Natural materials including wood, brick, stone, stucco, and hardy plank will be required. Vinyl siding shall not be permitted.
 - b. Building Height. The maximum building height shall be 35 feet measured from the grade of the front elevation of the building.
 - c. Roof. All roof pitches must fall within the range of 6/12 – 12/12 with the exception of porch roof pitches which may not be less than 4/12. The roof material will be dimensional architectural shingles.
 - d. Driveways. Driveways shall be constructed of brick, concrete pavers, or stone. Brick, pavers, and stone colors should coordinate with the architecture of the residence. Concrete used as borders, bands, or with special finish may be used.
 - e. Detached Structures. Detached structures of any type shall be designed to integrate with the architectural style of the home. They shall be located within the building setbacks and screened to insure privacy. Detached structures include: garages, greenhouse, gazebo, trellis/arbor, play equipment. Storage sheds will be discouraged.
 - f. Outdoor Space. Decks will be discouraged. Patio treatments of pavers or the like should be utilized.
 - g. Garage Doors. Garage doors shall be de-emphasized and shall blend with the design character and color of the house. Garage doors shall be of one color and constructed of wood or wood-based or vinyl materials.

B. Subarea 2.

1. Intent. The intent of this subarea is to provide housing choices that are similar in design, character and size as those found west of the Woods, located on the south side

of Pinnacle Club Drive (in Section 6 of the Pinnacle Club Drive subdivision). As such all homes are to (at minimum) incorporate the same quality of design, detail and level of exterior finishes.

2. Permitted Uses. Single family residential use shall be permitted within this subarea. Subarea 2 consists of 16.49 acres containing 52 single-family lots.

3. Lot Size; House Size

- a. Lot Size. Lot sizes shall have a minimum of 70' width at the building line and a minimum lot depth of 120'. Twenty five percent (25%) of the lots shall have a minimum 80' width at the building line.
- b. House size. Homes shall be a minimum of 1,800 square feet for all homes, excluding garage and basement areas. Eighty percent (80%) of all homes shall exceed 2,000 square feet in size.

4. Yard Dimensions.

- a. Front Yard. The front yard building setback shall be a minimum of 25 feet. Porches may encroach into required front yard area.
- b. Rear Yard. The minimum required rear yard shall 20 feet.
- c. Side Yard. The side yard setback shall be a minimum of 6 feet. Chimneys and bay windows may encroach into the required side yard areas.

5. Building Design.

- a. Materials. All exteriors shall have traditional beaded lap profile vinyl siding with .044 gauge or greater and or natural materials. All homes shall have brick or stone plinths. All chimneys within Subarea 2 shall be brick or stone. At least 50% of the homes shall have brick or stone on its front facade ranging from 15% to 100% of the front building elevation (windows and doors, including garage doors shall be excluded from the calculation.) Windows on the front of each home will have shutters or 1' x6' trim board around the perimeter of the window.
- b. Basements. Homes shall have full or partial basements unless soil conditions prevent or make the installation of a basement impracticable. Evidence of adverse soil conditions shall be presented to the City's Chief Building Inspector for verification.
- c. Roof. The roof of all homes shall have accents such as dormers, front facing gables and eave brackets. The main pitch of the main roof shall be a minimum of 6/12. Roof accents shall have roof pitches ranging from 4/12 to 12/12. The roof material will be dimensional architectural shingles.
- d. Building Height. The maximum building height shall be 35 feet measured from the grade of the front elevation of the building
- e. Garages. All homes shall have either a two- car or three- car garage.



LOCATION MAP

SITE DATA

TOTAL SITE AREA	31.71 ACRES	
SUB-AREA 1	7.31 ACRES	14 LOTS
SUB-AREA 2	16.24 ACRES	52 LOTS
RESERVE A	2.86 ACRES	
RESERVE B	0.31 ACRES	
RESERVE C	0.21 ACRES	
RESERVE D	0.62 ACRES	
RESERVE E	0.18 ACRES	
RESERVE F	3.31 ACRES	
RESERVE G	0.67 ACRES	
OPEN SPACE PROVIDED	8.16 ACRES	
TOTAL LOTS	66 LOTS	
LOT SIZES	SUB-AREA 1: 95' X 130' MINIMUM (2 LOTS) 100' X 130' MINIMUM (12 LOTS) SUB-AREA 2: 70' X 120' MINIMUM (33 LOTS) 80' X 120' MINIMUM (19 LOTS)	
DENSITY	2.08 LOTS PER ACRE	
FRONT YARD SETBACK	25'	
REAR YARD SETBACK	SUB-AREA 1: 35 FEET SUB-AREA 2: 20 FEET	
SIDE YARD SETBACK	SUB-AREA 1: 5 FEET / 16 FEET BETWEEN HOMES SUB-AREA 2: 6 FEET	
LEISURE TRAIL	1,200+ LINEAR FEET	
STREET TREES	35' O.C. - 2" CALIPER MIN.	
EXISTING ZONING	RURAL	

PINNACLE CLUB HOME OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE & OWNERSHIP OF PROPOSED DETENTION BASINS AND STREAM CORRIDORS

SITE PLAN

RECEIVED

JAN 26 2015

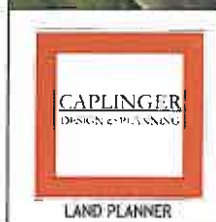
GC PLANNING COMMISSION

CITY ADMINISTRATOR
SERVICE DIRECTOR
REVIEW FOR THE CITY OF GROVE CITY
JACKSON TOWNSHIP FIRE DEPARTMENT
REGISTERED ENGINEER

DEVELOPMENT PLAN
FOR SCHOTTENSTEIN HOMES
140 MILL STREET, SUITE A
GAHANNA, OHIO 43230

THE WOODS
GROVE CITY, OHIO
JANUARY 2015

SHEET 1



LOCATION MAP

SITE DATA

TOTAL SITE AREA
EXISTING ZONING

31.71 ACRES
RURAL (ANNEXATION PENDING)

EXISTING TREES & TOPOGRAPHY

DEVELOPMENT PLAN
FOR SCHOTTENSTEIN HOMES
140 MILL STREET, SUITE A
GAHANNA, OHIO 43230

THE WOODS

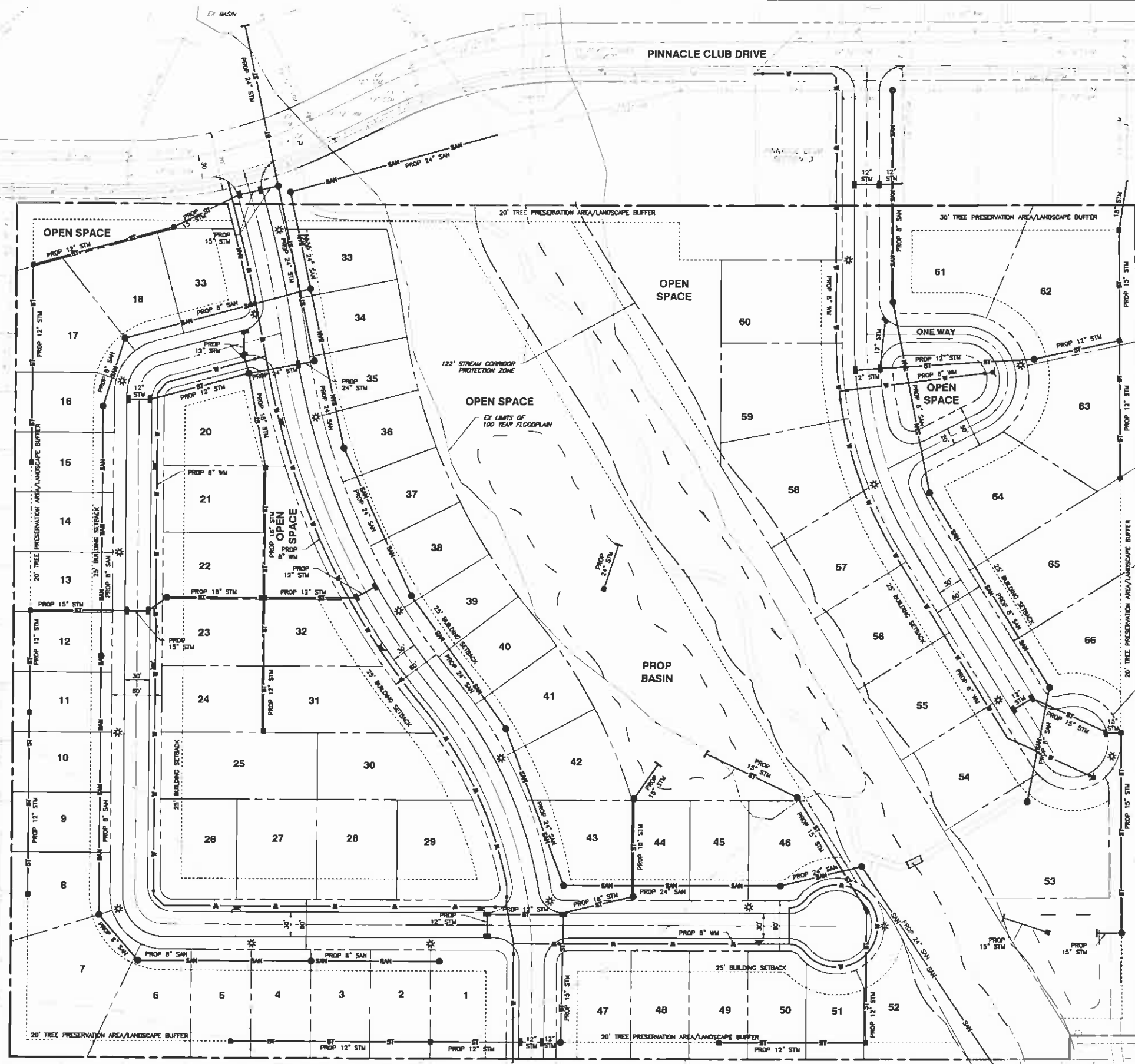
GROVE CITY, OHIO
JANUARY 2015

SHEET 2



MCNULTY STREET

PINNACLE CLUB DRIVE



REVISION RECORD

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING EASEMENT
---	EXISTING EDGE OF CONCRETE
---	EXISTING PAVED ROADWAY
---	EXISTING PAVED DRIVEWAY
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING WATERLINE
---	EXISTING ELECTRIC LINE
---	EXISTING BUILDING
---	EXISTING MANHOLE
---	EXISTING STORM INLET/CATCH BASIN
---	EXISTING WATERLINE VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED CENTERLINE OF ROAD
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED PROPERTY LINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED PROPERTY BOUNDARY
---	PROPOSED BUILDING SETBACK
---	PROPOSED SIDEWALK
---	PROPOSED STORM SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED WATER MAIN
---	PROPOSED STORM MANHOLE
---	PROPOSED CURB INLET
---	PROPOSED HEADWALL
---	PROPOSED SANITARY MANHOLE
---	PROPOSED HYDRANT
---	PROPOSED WATER VALVE
---	PROPOSED LIGHT POLE

NOTE

OUTLET PIPE MAY BE LOCATED IN END CORNERS OR SIDE WALL.
LIGHT FIXTURES WILL MATCH THOSE INSTALLED IN "THE WOODS" OF PINNACLE.
RELOCATION OF EXISTING STREET LIGHTS, FIRE HYDRANTS, STORM LINES, ETC. FOR ACCESS TO PINNACLE CLUB DRIVE WILL BE ADDRESSED DURING FINAL ENGINEERING.

ENGINEER'S CERTIFICATION

THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL OF THE MINIMUM STANDARDS AS DELINEATED IN THE OHIO CITY COMPILED ORDINANCES HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN MY OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. THESE PREMISES COVERED BY THE PLAN WILL BE SERVED AND MAINTAINED SHOWN ON THE PLAN WILL BE SET IN ACCORDANCE WITH SECTION 1101.051

REGISTERED ENGINEER NO. 75300 DATE

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 1/18/2015 BY: MCR

SCALE IN FEET
0 80 120



Civil & Environmental Consultants, Inc.
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SHOTTENSTEIN HOMES
DEVELOPMENT PLAN
THE WOODS
GROVE CITY, OHIO

DRAWN BY: WDF CHECKED BY: MCR APPROVED BY: CLL
DATE: JAN 2015 DWG SCALE: 1"=80' PROJECT NO: 133-184

UTILITY PLAN

3

REFERENCE
1. ALL EXISTING BASE MAP INFORMATION OBTAINED FROM FRANKLIN COUNTY AUDITORS, APRIL, 2014.



EXISTING BASIN TO BE RETROFITTED TO PROVIDE STORMWATER MANAGEMENT FOR THE WOODS DEVELOPMENT

PINNACLE CLUB DRIVE

MCNULTY STREET



REVISION RECORD		
NO	DATE	DESCRIPTION
SUBMITTAL RECORD		
NO	DATE	DESCRIPTION

- LEGEND
- EXISTING PROPERTY LINE
 - EXISTING ADJACENT PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING EASEMENT
 - EXISTING INDEX CONTOUR
 - EXISTING INTERMEDIATE CONTOUR
 - EXISTING EDGE OF CONCRETE
 - EXISTING PAVED ROADWAY
 - EXISTING PAVED DRIVEWAY
 - EXISTING STORM SEWER LINE
 - EXISTING BUILDING
 - EXISTING MANHOLE
 - EXISTING STORM INLET/CATCH BASIN
 - PROPOSED CENTERLINE OF ROAD
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED PROPERTY LINE
 - PROPOSED RIGHT-OF-WAY
 - PROPOSED PROPERTY BOUNDARY
 - PROPOSED SIDEWALK
 - 710 PROPOSED INDEX CONTOUR
 - 711 PROPOSED INTERMEDIATE CONTOUR
 - ST PROPOSED STORM SEWER
 - PROPOSED STORM MANHOLE
 - PROPOSED CURB INLET
 - PROPOSED HEADWALL
 - X 725.03 PROPOSED SPOT ELEVATION
 - X HP=728.80 PROPOSED HIGH POINT ELEVATION
 - 0.50% FLOOD ROUTING ARROW
 - FF=723.5 (718.0) FLOW ARROW
 - FF= FINISHED GRADE ELEVATION (WALKOUT ELEVATION)

NOTES

PROPOSED BASINS WILL BE BUILT ACCORDING TO THE CURRENT CITY OF GROVE CITY FLOOD DESIGN STANDARDS.

FILL WILL BE PLACED ACCORDING TO THE GROVE CITY FLOOD DAMAGE PREVENTION CODE AND FEMA.

AT THE TIME OF SUBMITTAL, THE LAND HEREBY BEING NOTED AS THE WOODS IS IN THE FLOOD HAZARD ZONE "X" (OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) UNLESS NOTED ON THE PLAN AS 100-YEAR FLOOD PLAIN WHICH IS IN THE FLOOD HAZARD ZONE "X" AS DESIGNATED AND DELINEATED ON THE FEMA FLOOD INSURANCE MAP FOR FRANKLIN COUNTY, OHIO, AND UNINCORPORATED AND INCORPORATED AREAS, MAP NUMBER 38049C406K WITH EFFECTIVE DATE OF JUNE 17, 2008.

STREAM SETBACK CALCULATION
SW=129(DA) 0.43
04+0.85 ACRES
SW=122'

PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 1/18/2013 BY: MCR



C&E
Civil & Environmental Consultants, Inc.
250 Old Wilson Bridge Road, Suite 250 - Worthington, OH 43085
Ph: 614.640.6633 • 688.588.6838 • Fax: 614.640.6638
www.ccecinc.com

**SHOTTENSTEIN HOMES
DEVELOPMENT PLAN
THE WOODS
GROVE CITY, OHIO**

DRAWN BY: WDF CHECKED BY: MCR APPROVED BY: CLJ
DATE: JAN 2013 DWG SCALE: 1"=60' PROJECT NO: 133-184

GRADING PLAN

REFERENCE
1. ALL EXISTING BASE MAP INFORMATION OBTAINED FROM FRANKLIN COUNTY AUDITORS, APRIL 2014.



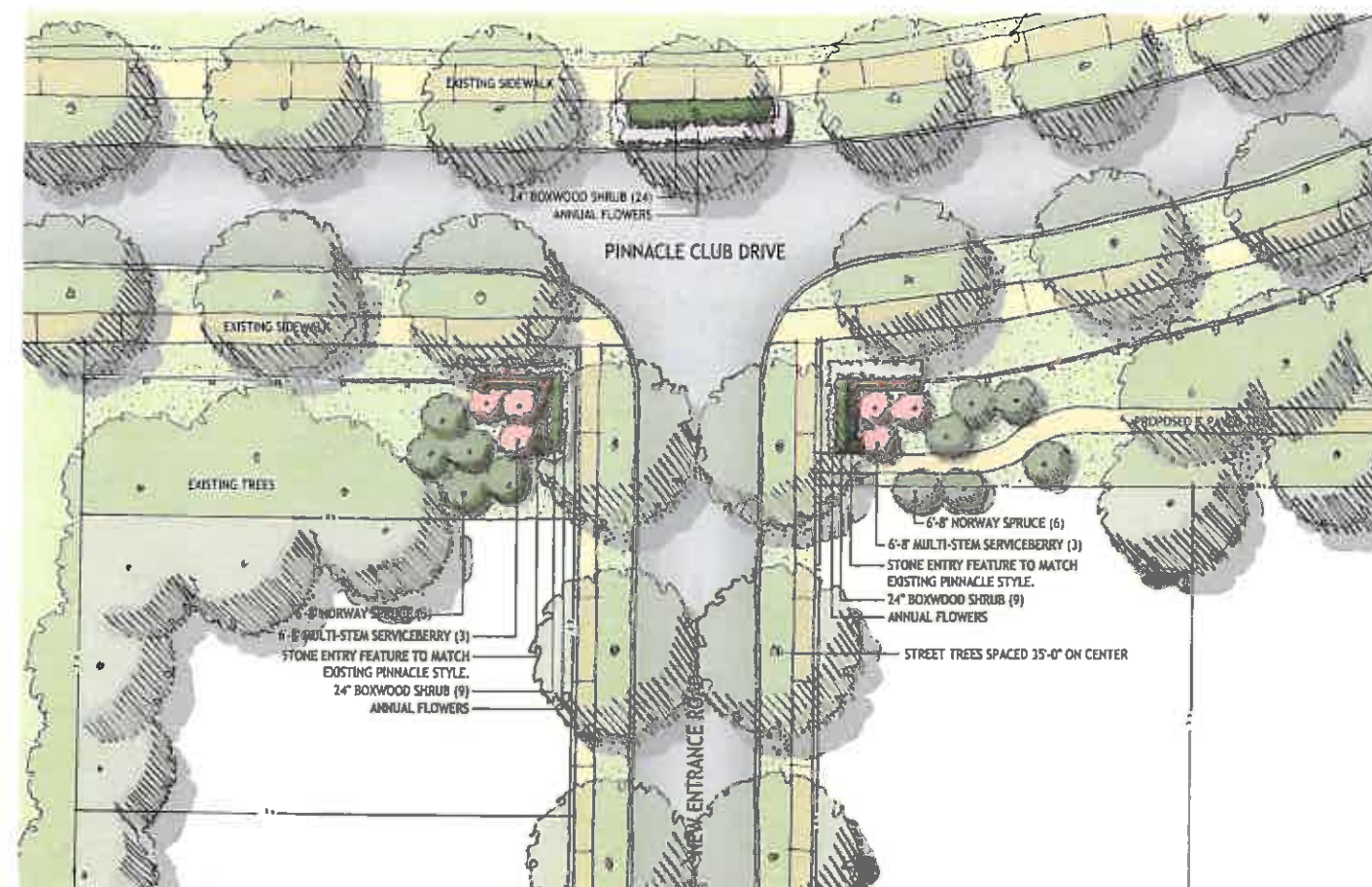
ENTRY SIGN



ILLUSTRATIVE RENDERING



LOCATION MAP



ENTRY FEATURE LANDSCAPE PLAN (TYPICAL)



ENTRY SIGN AND LANDSCAPED ENTRY FEATURE

DEVELOPMENT PLAN
FOR SCHOTTENSTEIN HOMES
140 MILL STREET, SUITE A
GAHANNA, OHIO 43230

THE WOODS

GROVE CITY, OHIO
JANUARY 2015

SHEET 5



LAND PLANNER

